

New Orleans Municipal Yacht Harbor Management Corporation

BOATHOUSE DESIGN CRITERIA

Adopted by MYHMC on November 9, 2009 and revised on October 19, 2018

MYHMC leases 133 boathouses surrounding Municipal Yacht Harbor to individuals and entities. Each lease contains a provision requiring that the lessee secure approval from MYHMC to do any work on the boathouse. These Design Criteria set forth principles that will guide MYHMC in reviewing plans and specifications and addressing requests by lessees for such authority from MYHMC.



Exhibit 1

I. Introduction

These Design Criteria were established by the New Orleans Municipal Yacht Harbor Management Corporation pursuant to the Leasehold Improvements provisions contained in the leases for boathouses located at the Municipal Yacht Harbor in New Orleans, LA. They may be amended from time to time by the Board of Directors of the New Orleans Municipal Yacht Harbor Management Corporation.

These Design Criteria are intended to promote the health, safety, economic, cultural and general welfare of the populace of the City of New Orleans and in particular, the Lessees of the Boathouses at Municipal Yacht Harbor. These Design Criteria are intended to preserve the existing architectural quality of the Municipal Yacht Harbor and set standards for its harmonious, orderly and efficient redevelopment.

Each Boathouse Lessee is obligated to comply with these Design Criteria. Violation of any Design Criteria, or a portion thereof, by a Boathouse Lessee shall be a breach of said Boathouse Lease and subject the Boathouse Lessee to the remedies available to the MYHMC for breaches under said lease. Invalidity of any one of these Design Criteria, or a portion thereof, by judgment of court, shall in no way affect any other provision, all of which shall remain in force and effect.

It is the intent of MYHMC that compliance with these Design Criteria will not prevent Boathouses from compliance with applicable codes, rules and regulations established by the City of New Orleans, FEMA or other regulatory authorities. However, no representations are made by MYHMC that compliance with these Design Criteria will achieve compliance with applicable codes, rules and regulations. It is the responsibility of Lessee to achieve such compliance through its own efforts or those of its agents, including but not limited to Lessee's registered design professional in responsible charge and Lessee's contractors.

Exhibits are intended to illustrate practical application of requirements set forth in these Design Criteria. In case of conflict between the text and an exhibit, the text shall govern.

II. Definitions. As used herein these terms shall have the following meanings:

1. Boathouse: Each of the boathouses located at Municipal Yacht Harbor and erected over and in the waters of Lake Pontchartrain and that is leased by MYHMC to a Lessee; more particularly the Leased Premises, as defined and described in the applicable Boathouse lease. As used here, a Boathouse is distinct and separate from an adjacent Boathouse even though it might be leased or occupied or used as one structure by the same Lessee. Also as used here, a Boathouse is considered a Boathouse regardless of the condition of the structure or the absence of all or a portion of the structure.
2. Boathouse Group: There are five Boathouse Groups. They are defined as Boathouses 1 through 36, Boathouses 37 through 37a, Boathouses 38 through 77, Boathouses 78 through 96, and Boathouses 100 through 137.
3. Boathouse Lease: The lease between MYHMC and any Lessee with respect to a Boathouse.
4. Lessee: Any person or entity that leases a Boathouse at Municipal Yacht Harbor from MYHMC.
5. MYHMC: Municipal Yacht Harbor Management Corporation.

III. Design Criteria

DC-1 Ordinance:

All Boathouses shall comply with Section 170-645 of the New Orleans City Code, as amended from time to time.

DC-2 Exterior Siding:

Permitted exterior materials include fiber-cement board in lap, drop or board and batten configuration; traditional 3-coat stucco (in a smooth-troweled finish); and corrugated metal siding in a Galvalume or Galvalume Plus finish. Exterior materials not permitted include wood, vinyl siding, brick and concrete masonry. Faux wood grain is not permitted.

Siding shall course to coordinate with the heads and/or jambs of window and door openings. All exterior fasteners shall be fabricated from corrosion resistant materials.



Exhibit 2

DC-3 Exterior Trim:

Exterior trim shall be fiber-cement board or composite material designed to resemble wood. Faux wood grain is not permitted. Where the exterior siding is 3-coat stucco, the trim material may be 3-coat stucco. Where the exterior siding is corrugated metal siding in a Galvalume or Galvalume Plus finish, the trim may be of the same material. Trim shall be in proportion to the size of the opening with a minimum width of 3 1/2 inches and a maximum width of 8 inches. Trim shall project a minimum of 1/2" past the leading edge of the adjacent siding. Trim shall be flat or with a very simple profile. Siding must abut the trim and trim shall not be installed on top of siding.

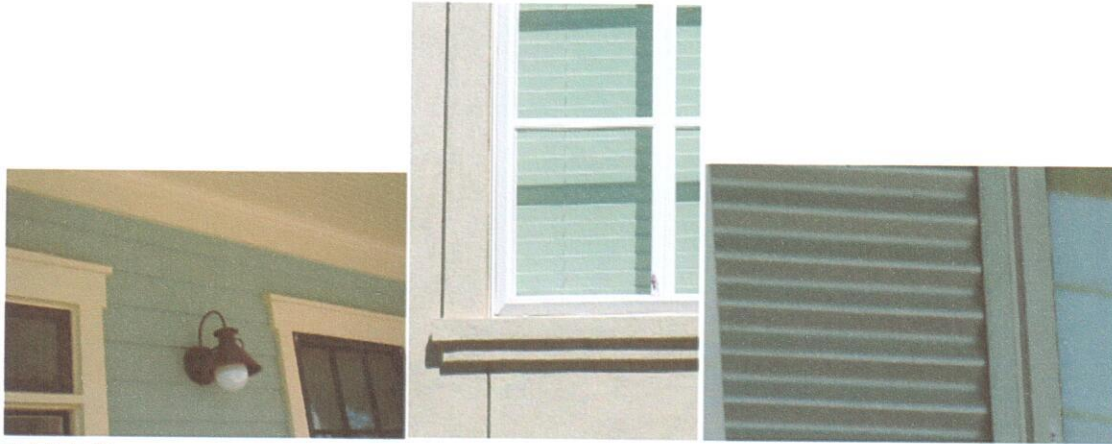


Exhibit 3

DC-4 Porches:

The clear space between columns and the exterior finish material of the front wall shall be a minimum of 7'-0". Porches may not be screened or enclosed.



Exhibit 4

DC-5 Railings:

Exterior railings shall be constructed of metal or composite material designed to resemble wood. Faux wood grain is not permitted. Openings within a representative area of the railing must be a minimum of 50% of the railing's area. Top rails shall be sloped to shed water.



Exhibit 5

DC-6 Columns and Beams:

Columns and beams shall be finished with fiber-cement board or composite material designed to resemble wood. Faux wood grain is not permitted. Exposed steel columns are not permitted unless they form a part of and positively contribute to the architectural character of the Boathouse design. Columns and beams shall be simply detailed and shall be in proportion to the height, span and scale of the Boathouse.



Exhibit 6

DC-7 Porch ceilings:

Porch ceilings shall be constructed of corrugated metal siding in a Galvalume or Galvalume Plus finish, tongue and groove wood, fiber-cement board or composite material designed to resemble wood. Faux wood grain is not permitted. Vinyl is permitted on the rear of the Boathouse only.



Exhibit 7

DC-8 Windows:

Windows and their panes shall be vertically proportioned and evenly spaced and coordinated with bays wherever possible. They shall have plain trim and minimal ornamentation. Window heads must be flat without any arch. The head height elevation of each floor's openings and the overall height of the opening shall be balanced and in proportion to their respective story. Windows shall be metal, vinyl, or clad wood , all of which shall be designed to resemble wood . They shall have only one clear glass light or have the appearance of true divided clear glass lights.

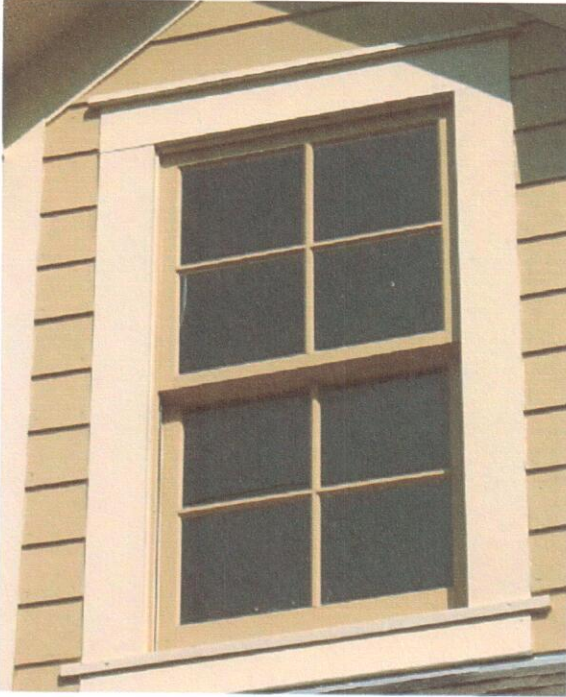


Exhibit 8



DC-9 Shutters:

Shutters are not required but when used, they must be operable and completely conceal the window or door when closed. Shutters shall be constructed of fiberglass, metal or composite material, all of which shall be designed to resemble wood. Faux wood grain is not permitted. Hardware shall be corrosion resistant in a compatible color. Styles may be louvered, paneled or planked. Awning shutters are permitted. Roll-down shutters are permitted if they are concealed within the architecture of the Boathouse.



Exhibit 9 DC-

10 Doors:

Doors shall be constructed of wood, fiberglass, metal, clad wood or composite material, all of which shall be designed to resemble wood. Faux wood grain is not permitted.

Doors shall have clear glazing and/or flat panels. Door heads must be flat without any arch. Doors shall have one light, or they shall have the appearance of true divided lights. They may have sidelights and/or transoms and are typically centered in a column bay. They shall have plain trim and minimal ornamentation. Exterior hardware shall be corrosion resistant.

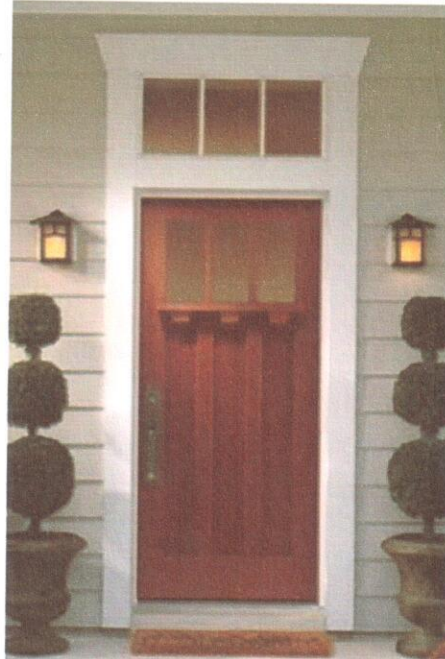


Exhibit 10

DC-1 1 Roof Materials:

Roofs shall be Galvalume or Galvalume Plus in V-crimp or corrugated profile.



Exhibit 11

DC-12 Roof Characteristics:

Rafters may be exposed or have enclosed soffits. Exposed rafter tails or fascia boards are permitted. Overhangs shall not exceed 24". Eaves may have decking or evenly spaced purlins with exposed roofing.

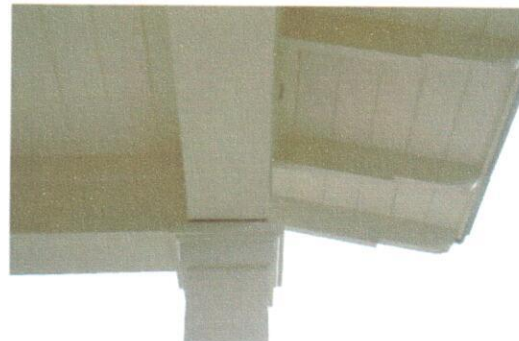


Exhibit 12

DC-13 Gutters:

Where gutters are exposed at a third floor or in front of the original front wall of the Boathouse, they shall be half-circle galvanized or Galvalume metal gutters with circular downspouts. Minimize splices.



Exhibit 13

DC-14 Utilities:

Utilities and related equipment shall be concealed as much as possible from the street on which the Boathouse fronts. Subject to the utility company's requirements and applicable building codes, aerial lines shall be installed so as to minimize as much as possible their interference with the view from the subject Boathouse and other Boathouses.

Please also see section DC-21.

DC-15 Equipment Screens:

Air conditioning units and other mechanical equipment, satellite dishes, antenna, and trash or garbage storage areas shall be grouped as much as possible and architecturally concealed from view from the street on which the Boathouse fronts. Screens shall be constructed of materials permitted and used on the exterior of the Boathouse.

DC-16 Rooftop Fixtures:

Skylights, flues, chimneys, air conditioning units, solar collectors, and any other fixture on the roof of the Boathouse shall be placed to the rear of the Boathouse so as to conceal, as much as possible, the fixture from view from the street on which the Boathouse fronts.

DC-17 Accessories:

Mailboxes and address numbering shall be consistent with the architectural style of the exterior of the Boathouse.

DC-18 Exterior Lighting:

Exterior lighting shall be achieved by marine-grade fixtures, which are consistent with the architectural style of the exterior of the Boathouse. Additionally, a Boathouse may include a maximum of one pair of joined floodlights. All metals shall be corrosion resistant.



Exhibit 14

DC-19 Colors:

Colors shall be muted tones and limited to those listed below. Stark white trim and windows are not permitted. Permitted colors may be used only with the other permitted colors within a particular color scheme and may not be used with colors from another scheme. The

walls must be the color designated in the scheme. Wall colors may be used on trim and accent elements, but trim and accent colors may not be used on walls. Trim and accent colors may be interchanged within a scheme. Portions of walls shall not be considered trim or accent elements.

Colors permitted on the exterior of Boathouses shall be or match those Benjamin Moore colors listed below.

<u>Scheme A</u>		<u>Scheme B</u>	
WALL	2156-50 ASBURY SAND	WALL	HC-146 WEDGEWOOD GRAY
TRIM	2111-50 STONE HARBOR	TRIM	AC-33 MESA VERDE TAN
ACCENT	2092-40 TEXAS ROSE	ACCENT	21 38-60 GRAY CASHMERE
<u>Scheme C</u>		<u>Scheme D</u>	
WALL	2149-40 TIMOTHY STRAW	WALL	2155-60 CREAM YELLOW
TRIM	HC-45 SHAKER BEIGE	TRIM	21 62-50 ARIZONA TAN
ACCENT	HC-138 COVINGTON BLUE	ACCENT	HC-131 LEHIGH GREEN
<u>Scheme E</u>		<u>Scheme F</u>	
WALL	2160-40 ROASTED SESAME SEED	WALL	2173-40 ANTIQUÉ ROSE
TRIM	21 63-60 LATTE	TRIM	21 53-60 RICH CREAM
ACCENT	2107-40 DRIFTWOOD	ACCENT	HC-1 37 MILL SPRINGS BLUE
<u>Scheme G</u>			
WALL	1467 BALTIC GRAY		

TRIM	1590 PAPER WHITE
ACCENT	1472 SILVER CHAIN

As to all of the above Schemes (A through and including F), the following are also options as to trim colors: Benjamin-Moore Exterior Ready-Mixed (i) Lancaster White or (2) Sail Cloth.

DC-20 Signage:

Signs posted by vendors, professionals and trades on homes under construction shall be no bigger than 24" x 32" and shall be grouped at one location on the street side of the Boathouse.

DC-21 Utilities:

All utilities shall be run underground from the utility pole to the front wall of the Boathouse.

A report stating the condition of the sewer lines, sewer connections, and the water lines located under the first floor or deck level of the boathouse shall be performed by a licensed plumber. It shall include a complete visual inspection of the under-deck sanitary sewer system from the vertical drop to the City's connection at the water's edge. An inspection shall be conducted to ensure that the sewer system has the proper fall and that it is free of any cracks, breaks, or imperfections. Two (2) photographs along with a detailed plot plan of the sewer system shall be included.

Wherever possible, it is recommended that sewer and water lines NOT be placed under the first floor deck level of the boathouse except as needed to connect to the City's sewer and water connections. This will greatly reduce the risk of broken/leaking pipes, and will make repairs much easier to perform. The under-deck sanitary sewer system shall be re-strapped in order to provide the proper fall and to ensure that the sewer line is completely secure and rigid from the deck joist system. The existing sewer system shall be hung from the deck floor joists using a universal PVC pipe hanger that is corrosion-proof and impact-resistant. New hangers shall be spaced two (2) feet apart in order to securely hold the sewer line in place during high and low tides. A minimum of two (2) photographs shall be provided showing that the above referenced work has been completed. Any necessary repairs to the sewer lines, sewer connections, and water lines must be performed and certified by a licensed plumber. All proposed repairs must be shown on the architectural plans that are submitted to MYHMC's Rules and Standards Committee for its review and approval.

End of Design Criteria